

THE PAMELA WALTERS GROUP

(903) 581-3900
Exclusive Agent

LOT 2 MODEL HOME

STANDARD ABBREVIATIONS

@	AT	LY	LIGHT
#	FOUND(S)	LN	LINEN
APPROX	APPROXIMATELY	MANUF	MANUFACTURER
BASE	BASEMENT	MAS	MASONRY
B/T	BETWEEN	MAX	MAXIMUM
BLK	BLOCK	MTL	METAL
BLDG	BLOCKING	MIN	MINIMUM
BD	BOARD	N.E.G.	NOT IN CONTRACT
BO	BOARD	O.C.	ON CENTER
BOT	BOTTOM	O.C.	ON CENTER
BLDG.	BUILDING	OPT	OPTIONAL
CAB	CABINET	O.S.B.	ORIENTED STRAND BOARD
CEILING	CEILING	OTS	OWNER TO SELECT
CLR	CLEAR	O.T.S.	OWNER TO SELECT
CLOS	CLOSET	PG	PAGE
COL	COLUMN	PAN.	PANTRY
COLS	COLUMNS	PL	PLATE
CONC	CONCRETE	PL	PLATE
CMU	CONCRETE MASONRY UNIT	PLYD	PLYWOOD
C.U.	CONDENSER UNIT	PLYD	PLYWOOD
CONN	CONNECTION	POLY	POLYETHYLENE
CONT	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
COVER	COVERING	PRE-FAB	PREFABRICATED
CS	CRAWL SPACE	REF	REFERENCE
DECO	DECORATIVE	REF	REFRIGERATOR
DET	DETAIL	REIN	REINFORCED
DI	DIAMETER	R	RESISTANCE
DW	DISHWASHER	R.A.	RETURN AIR
DBL	DOUBLE	R.A.G.	RETURN AIR GRILLE
DF	DOUGLAS FIR	REQD	REQUIRED
D	DRYER	SCR	SCREEN
EA	EACH	SHLV	SHELVES
ELEV	ELEVATION	SHR	SHOWER
ENG	ENGINEER	SHWR	SHOWER
FT	FEET	SST	SIMPSON STRONG TIE
F.F.L.	FINISHED FLOOR LINE	SPK	SOUTHERN PINE
FIN	FINISH	SPECS	SPECIFICATIONS
F.C.	FIRE CODE	SQ	SQUARE
F.L.	FLOOR	S.F.	SQUARE FOOTAGE
FTG	FOOTING	STL	STEEL
FOUND	FOUNDATION	THK	THICK
FO	FOUNDATION	THK	THICKNESS
FR	FREEZER	TBD	TO BE DETERMINED
GA	GALUSE	TR	TRANSOM
GALV	GALVANIZED	TYP	TYPICAL
GYP	GYPSONUM	U.Y.C.	UNDER THE COUNTER
HDR	HEADER	UTL	UTILITY
HVAC	HEATING, VENTILATION & AIR CONDITIONING	VAN	VANITY
HT	HEIGHT	VERT	VERTICAL
HTS	HEIGHTS	WH	WATER HEATER
HORIZ	HORIZONTAL	X	EXTERIOR
IN	INCHES	XF	EXTERIOR FINISH
INCL	INCLUDE	PN	PENNY
INSL	INSULATION	PM	PURE MESH
J	JOINT	PI	PITCH
JST	JOIST	PK	POOD
JSTS	JOISTS	RFM	ROOF FRAME
		RMCM	ROOFING MANUAL



SHEET INDEX:

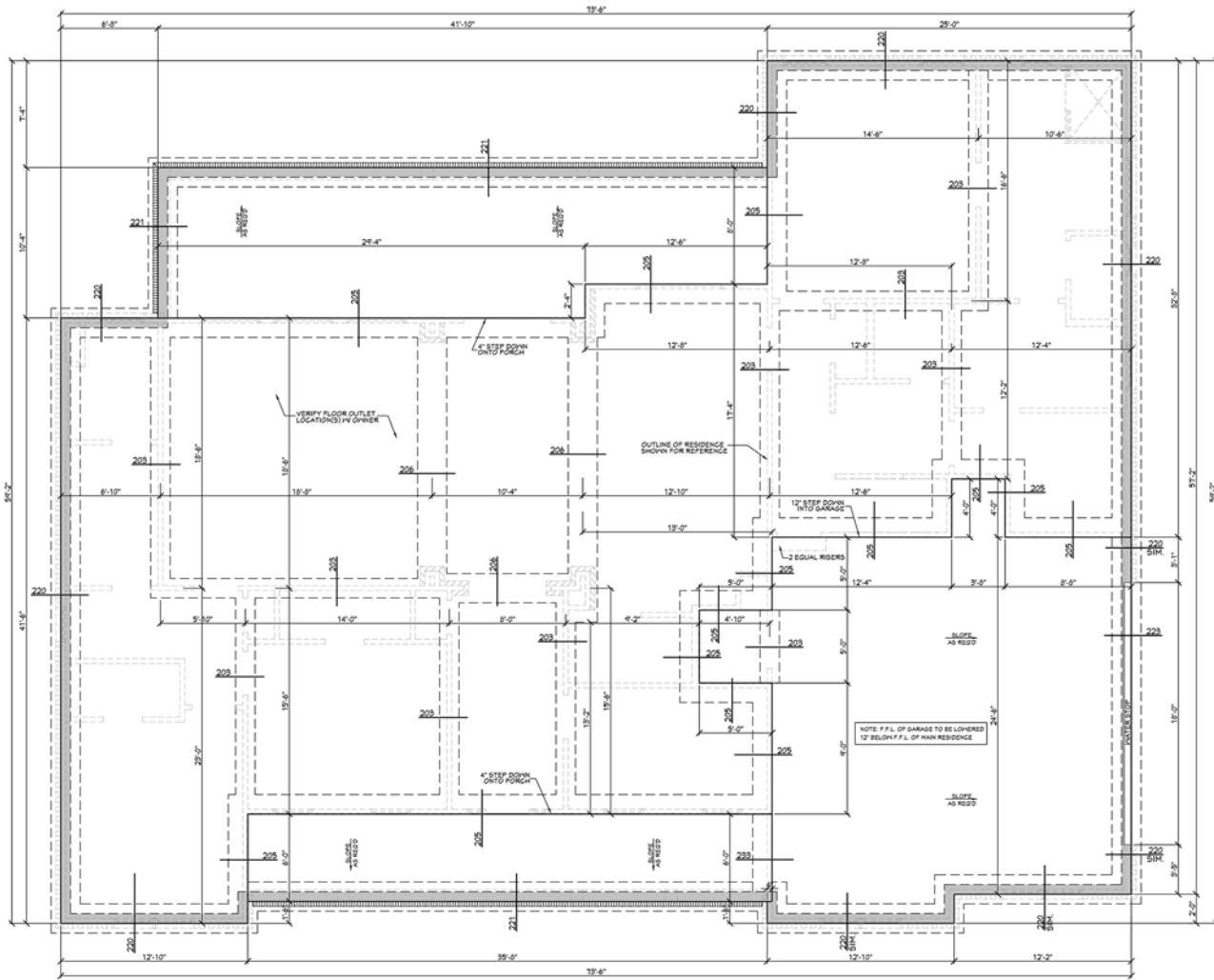
- 1 COVER SHEET
- 2 FOUNDATION PLAN
- 3 FLOOR PLANS
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- 5 EXTERIOR VIEWS
- 6 SECTIONS & CABINETS
- 7 ROOF PLAN
- 8 ELECTRICAL PLANS

CODE DISCLAIMER:

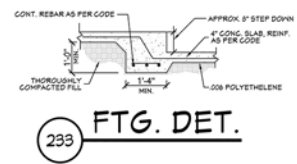
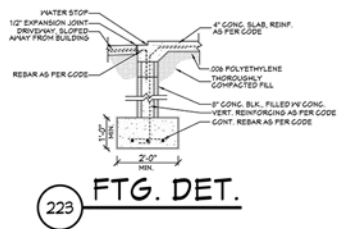
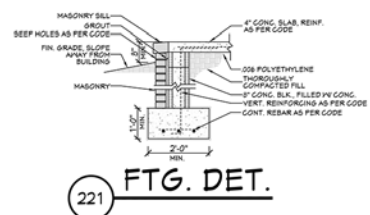
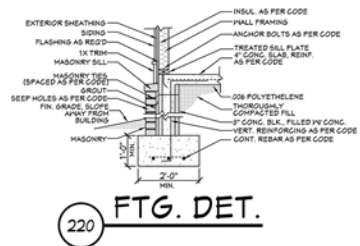
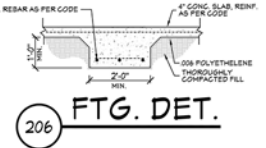
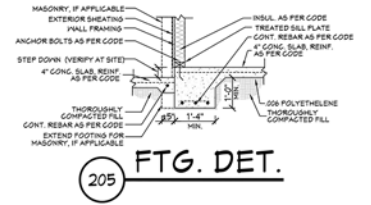
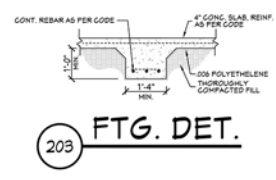
1. THESE PLANS WERE DESIGNED TO MEET IRC 2018 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE SOUTH MISSISSIPPI AREA. IT IS HIGHLY RECOMMENDED THAT THESE PLANS BE REVIEWED BY A LOCAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
2. BEAMS AND FLOOR JOISTS ARE NOT SIZED DUE TO THE MANY GEOGRAPHIC LOCATIONS THESE PLANS ARE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER.
3. ALL CEILING & FLOOR JOISTS (IF CONVENTIONAL FRAMING) SHOULD BE SIZED USING THE LATEST VERSION OF THE IRC OR APPLICABLE CODES AT SITE TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOISTS SIZES LABELED (IF PRESENT) WERE SIZED USING THE 2018 IRC AT THE TIME OF THEIR CREATION. THEY MUST BE VERIFIED AND MODIFIED AS REQUIRED TO MEET THE LATEST EDITION OF THE (IRC) INTERNATIONAL RESIDENTIAL CODE.
4. ALL FOUNDATIONS AND FOOTING DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER.
5. CONTRACTOR SHALL PROVIDE ALL HIGH WIND STRAPPING AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL CODE REQUIREMENTS AND THE LATEST VERSION OF THE IRC.

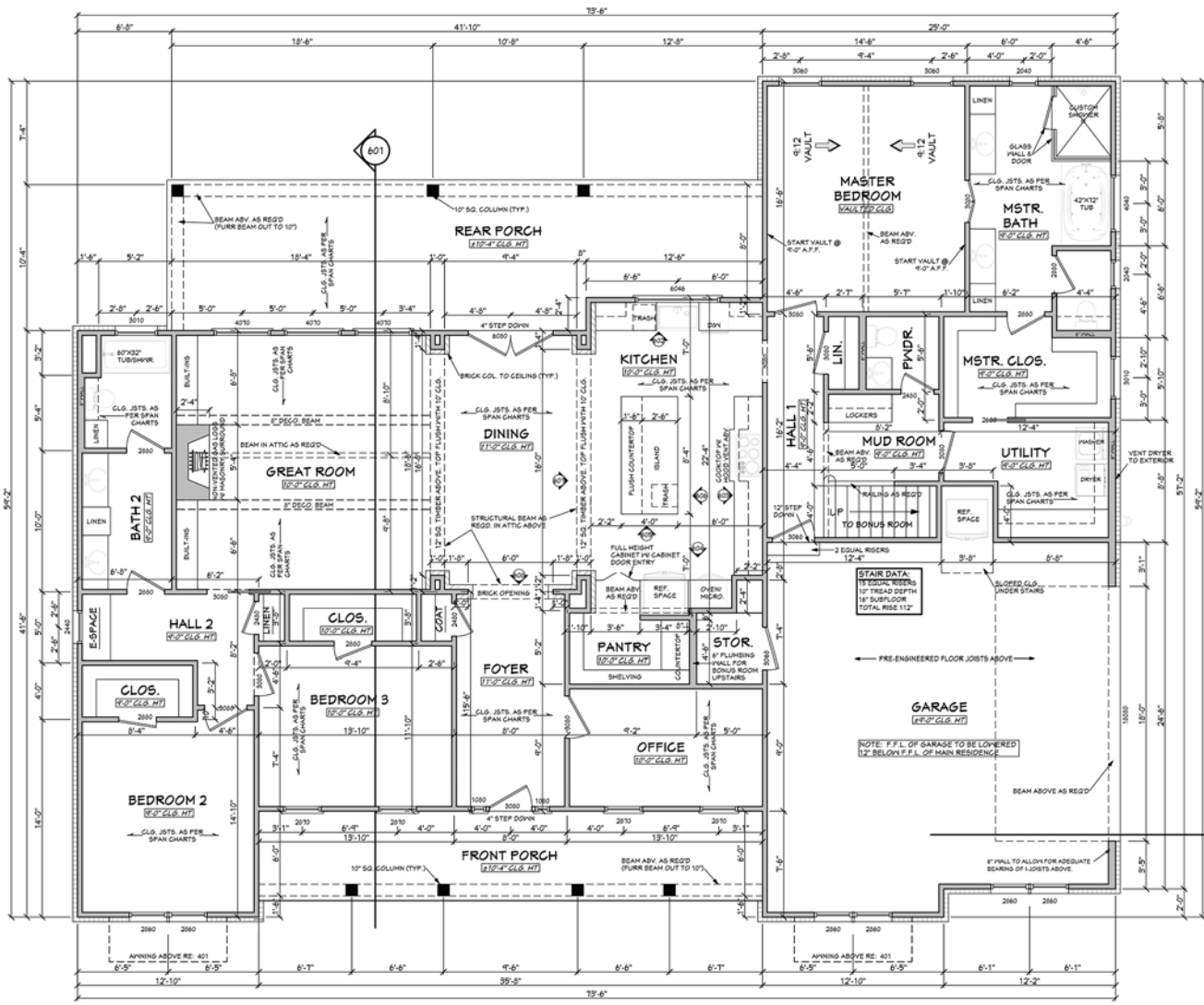
SLAB FOUNDATION NOTES:

1. ALL FOOTING SIZES AND LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
2. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH FLOOR PLAN PRIOR TO CONSTRUCTION AND MAKE ANY NECESSARY ADJUSTMENTS.
4. CONTRACTOR TO PROVIDE WATERPROOFING AS REQ'D TO MEET ALL APPLICABLE CODES AND TYPICAL BUILDING PRACTICES.
5. CONCRETE SLABS TO BE 4" (3000 psi MIN.), REINFORCED AS PER CODE OR AS DETERMINED BY LICENSED ENGINEER.



201 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"





NOTE: CONTRACTOR TO LOCATE HVAC AND WATER HEATER UNITS AT SITE.

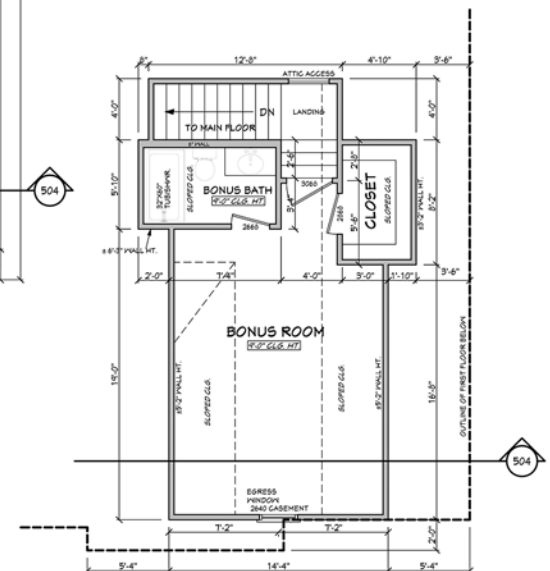
MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREAS:	2553	S.F. HEATED - NOT INCLUDING MASONRY
	400	S.F. UNHEATED - BONUS ROOM
	214	S.F. UNHEATED - FRONT PORCH
	647	S.F. UNHEATED - TWO CAR GARAGE
	403	S.F. UNHEATED - REAR PORCH
	30	S.F. UNHEATED - STORAGE
	1694	S.F. UNHEATED - TOTAL
	4241	S.F. TOTAL UNDER ROOF

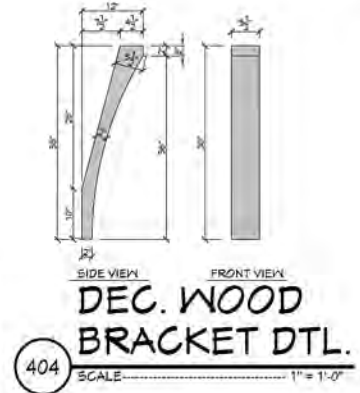
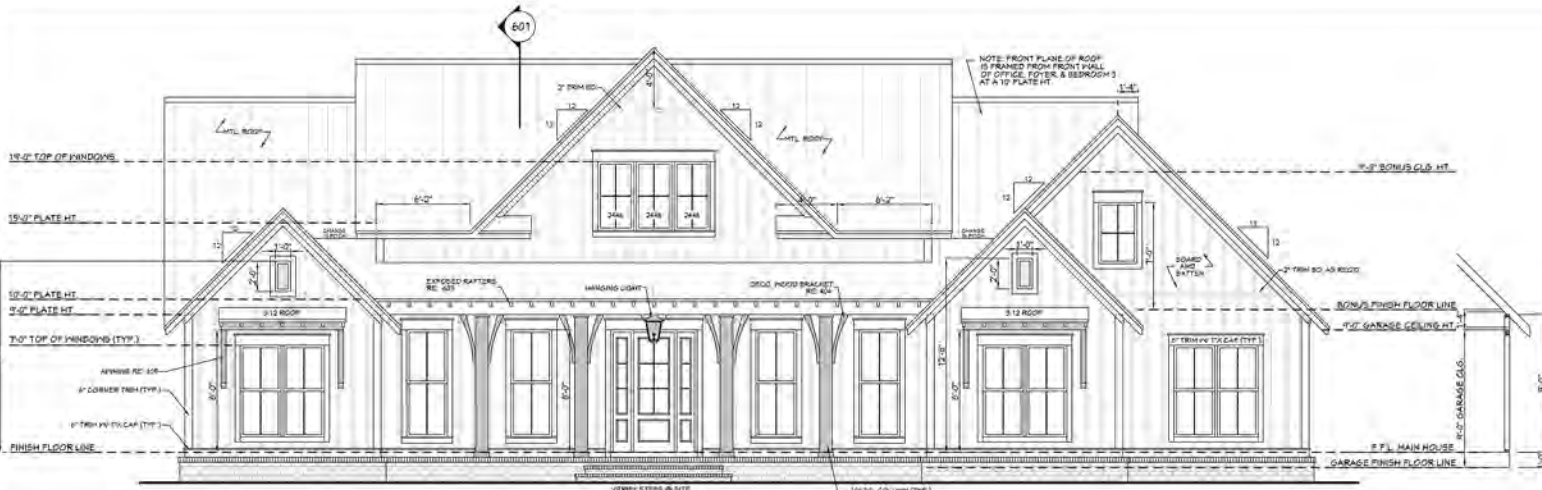
NOTES:

1. ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
2. ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
3. VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
4. CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL, PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
6. ALL STAIRS TO BE SIZED BY LICENSED STRUCTURAL ENGINEER.
7. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD. IRC 2018, R312.1.1 & R312.1.2
8. M1305.1.2 APPLIANCES IN ATTICS. ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 9 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. EXCEPTIONS:
9. THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING.
10. WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 50 FEET LONG.
11. APPLIANCE ACCESS FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. A LEVEL WORKING SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL. SIDE TO SERVICE AN APPLIANCE. M1305.1.1
12. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2018 R310.2.1. EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. MAXIMUM SILL HEIGHT TO BE 44 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.
13. ALL RETURN AIR GRILLS ARE TO BE LOCATED TO COMPLY WITH SECTION M1602 OF THE IRC 2018.
14. ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL. CONSTRUCTED RESIDENCE OR BUILDING.
15. FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED (IF REQUIRED BY LOCAL CODES) AS PER THE IRC 2018 AND BY A LICENSED PROFESSIONAL IN THE AREA OF CONSTRUCTION.
16. ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2018, M1509.2



BONUS ROOM FLOOR PLAN

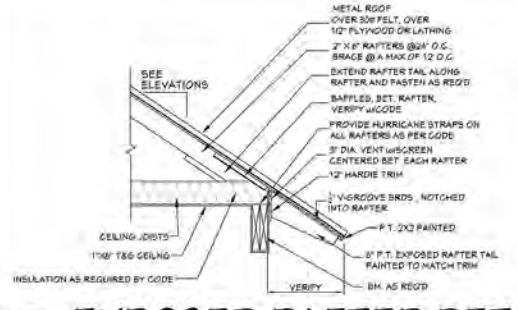
SCALE: 1/4" = 1'-0"



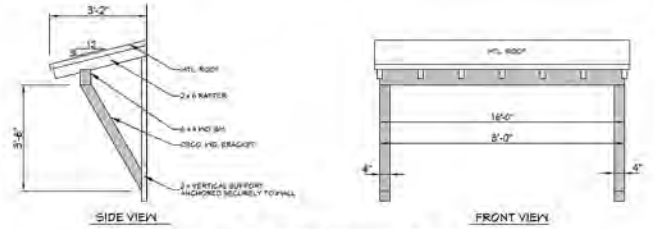
401 FRONT VIEW
SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES:

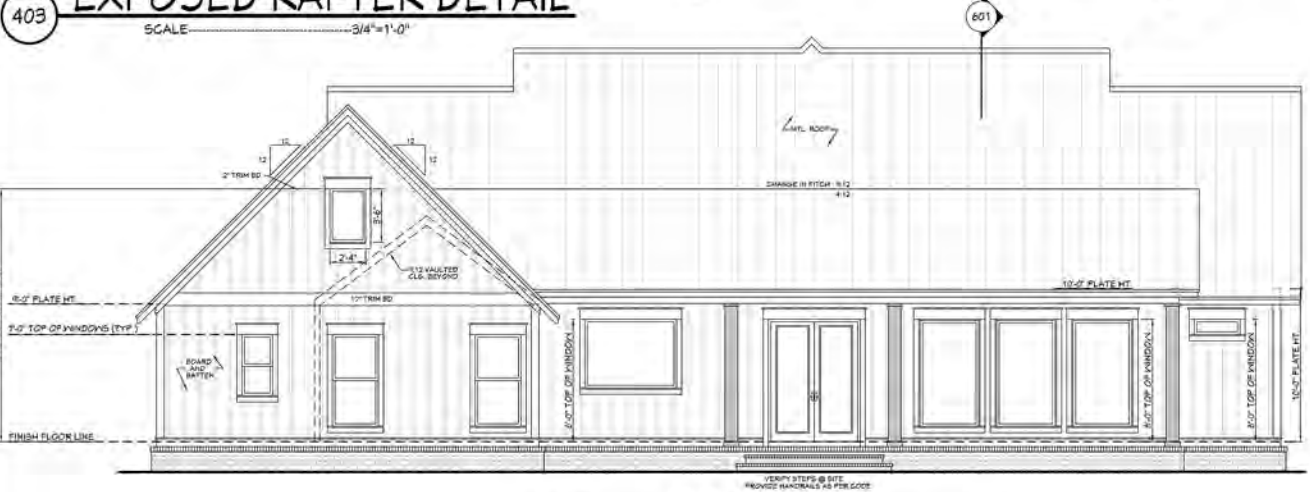
1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



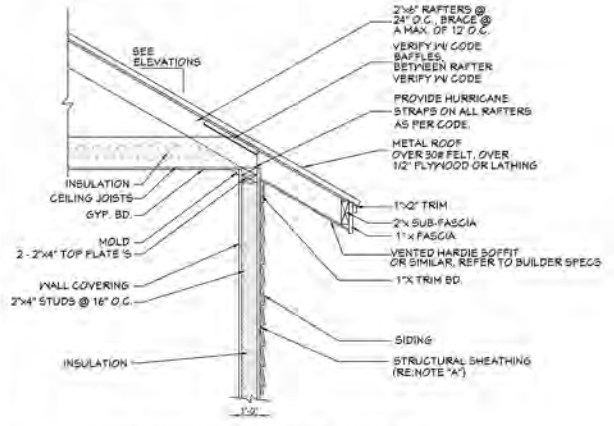
403 EXPOSED RAFTER DETAIL
SCALE 3/4" = 1'-0"



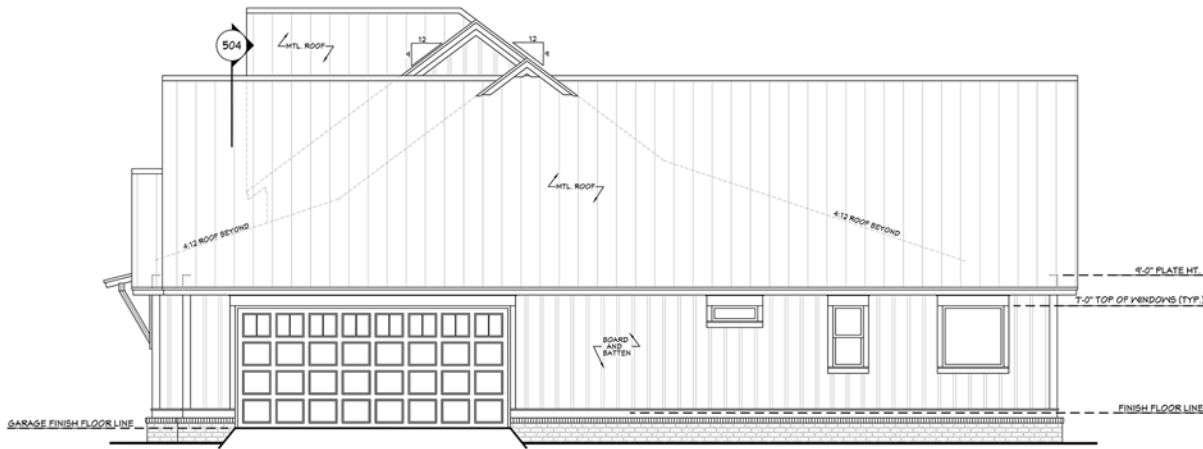
405 AWNING DETAIL
SCALE 1/2" = 1'-0"



402 REAR VIEW
SCALE 1/4" = 1'-0"



406 TYP. CORNICE DETAIL
SCALE 3/4" = 1'-0"



501 RIGHT VIEW
SCALE..... 1/4" = 1'-0"

304 (DOOR LABEL ON FLOOR PLAN) IS A DOOR THAT IS 3 FT 5 INCHES WIDE BY 8 FEET 3 INCHES TALL. TO FURTHER CLARIFY, THE 304 LABEL IS TO BE READ AS FEET AND INCHES (WIDTH) AND FEET AND INCHES (HEIGHT).

THE DOOR LABEL IS THE ACTUAL SIZE OF THE DOOR ITSELF, NOT THE ROUGH OPENING SIZE. VERIFY THE ROUGH OPENING SIZE WITH THE DOOR MANUFACTURER CHOSEN AT SITE.

305 (WINDOW LABEL ON FLOOR PLAN) IS A WINDOW THAT IS 3 FT 5 INCHES WIDE BY 5 FEET 5 INCHES TALL. TO FURTHER CLARIFY, THE 305 LABEL IS TO BE READ AS FEET AND INCHES (WIDTH) AND FEET AND INCHES (HEIGHT).

THE WINDOW LABEL IS THE ACTUAL SIZE OF THE WINDOW ITSELF, NOT THE ROUGH OPENING SIZE. VERIFY THE ROUGH OPENING SIZE WITH THE WINDOW MANUFACTURER CHOSEN AT SITE.

DOOR SIZE	WINDOW SIZE	EGRESS

304 MINIMUM CLEARANCE: MIN. OF 5.1 SQUARE FEET (GRADE OR BELOW GRADE) SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5 SQUARE FEET.

305 MINIMUM CLEARANCE: MIN. OF 5.7 SQUARE FEET (GRADE OR BELOW GRADE) SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET.

310.2.1 Minimum opening area. Emergency and escape rescue openings shall have a net clear opening of not less than 5.7 square feet (0.530 m²). The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. The net clear height opening shall be not less than 24 inches (610 mm) and the net clear width shall be not less than 20 inches (505 mm). Exception: grade floor or below grade openings shall have a net clear opening of not less than 5 square feet (0.465 m²).

310.2.2 Window sill height. Where a window is provided as the emergency escape and rescue opening, it shall have a sill height of not more than 44 inches (1118 mm) above the floor, where the sill height is below grade, it shall be provided with a window well in accordance with Section R310.2.3.

310.2.3 Window wells. The horizontal area of the window well shall be not less than 4 square feet (0.4 m²), with a horizontal projection and width of not less than 16 inches (414 mm). The area of the window well shall allow the emergency escape and rescue opening to be fully opened. Exception: The ladder or steps required by Section R310.2.3.1 shall be permitted to encroach not more than 8 inches (203 mm) into the required dimensions of the window well.

R310.2.3.1 Ladder and steps. Window wells with a vertical depth greater than 44 inches (1118 mm) shall be equipped with a permanently affixed ladder or steps usable with the window in the fully open position. Ladders or steps required by this section shall not be required to comply with Sections R311.1 and R311.3. Ladders or steps shall have an inside width of not less than 12 inches (305 mm), shall project not less than 3 inches (76 mm) from the well and shall be spaced not more than 18 inches (457 mm) on center vertically for the full height of the window well.

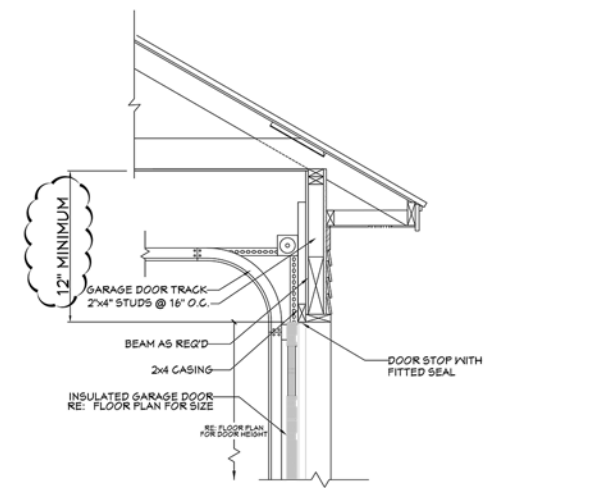
R310.2.3.2 Window well protection. Window well protection shall be provided in accordance with Sections R312.2.1 and R312.2.2.

R312.2.1 Window wells. In dwelling units, where the top of the sill of an operable window opening is located less than 24 inches (610 mm) above the finished floor and greater than 22 inches (559 mm) above the finished grade or other surface below on the exterior of the building, the operable window shall comply with one of the following:

- Operable window with openings that will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening when the opening is in its largest opened position.
- Operable window that are provided with window well prevention devices that comply with ASTM F 2045.
- Operable window that are provided with window opening control devices that comply with Section R312.2.2.

R312.2.2 Window opening control devices. Window opening control devices shall comply with ASTM F 2040. The window opening control device, after operation to release the control device allowing the window to fully open, shall not reduce the net clear opening area of the window well to less than the area required by Section R310.2.1.

OPENING SIZES/EGRESS
SCALE..... N.T.S.

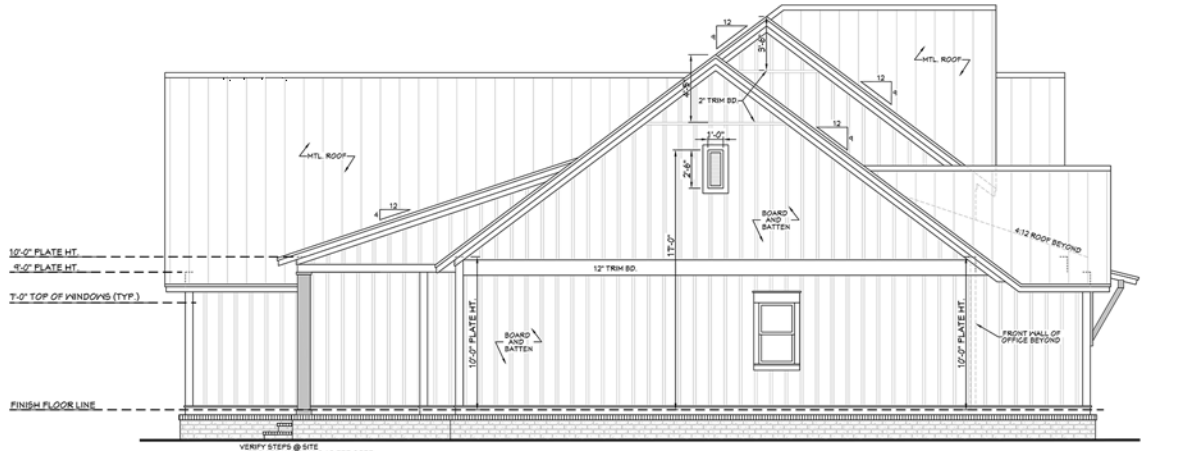


503 GARAGE DOOR CLEARANCE
SCALE..... N.T.S.

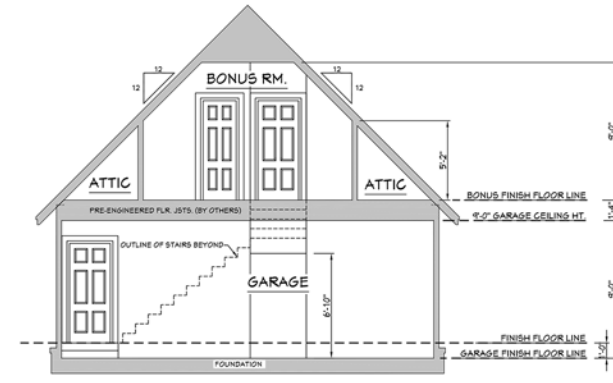
EXTERIOR ELEVATION NOTES:

- CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
- PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
- GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
- ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
- REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
- CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.

THE INTENT OF THIS DETAIL IS TO SHOW THE MINIMUM REQUIRED DISTANCE FROM THE TOP OF THE GARAGE DOOR OPENING TO THE CEILING OF THE GARAGE.

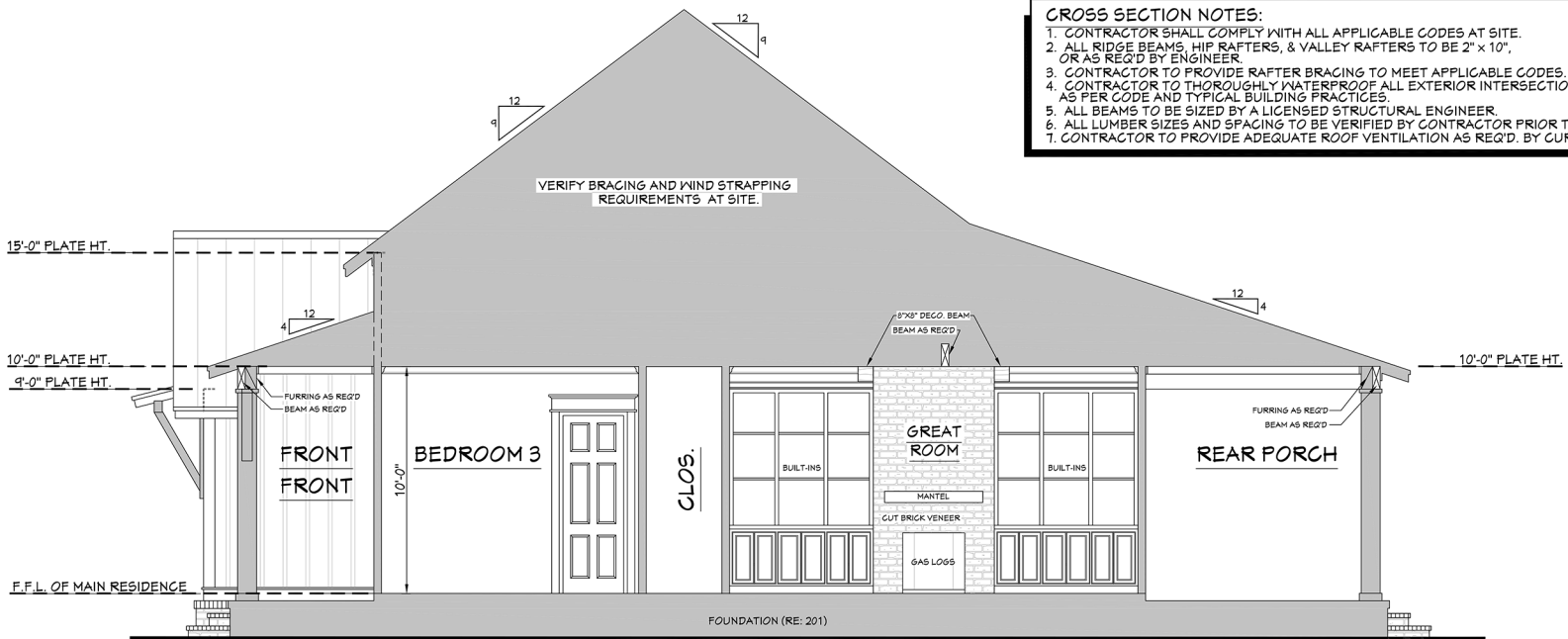


502 LEFT VIEW
SCALE..... 1/4" = 1'-0"

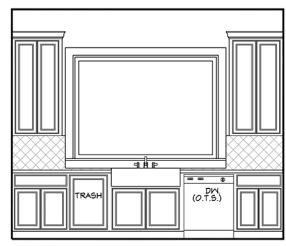


504 GARAGE SECTION
SCALE..... 3/4" = 1'-0"

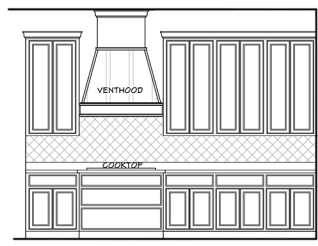
- CROSS SECTION NOTES:**
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
 2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" x 10", OR AS REQ'D BY ENGINEER.
 3. CONTRACTOR TO PROVIDE RAFTER BRACING TO MEET APPLICABLE CODES.
 4. CONTRACTOR TO THOROUGHLY WATERPROOF ALL EXTERIOR INTERSECTIONS AS PER CODE AND TYPICAL BUILDING PRACTICES.
 5. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
 6. ALL LUMBER SIZES AND SPACING TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
 7. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D. BY CURRENT CODES.



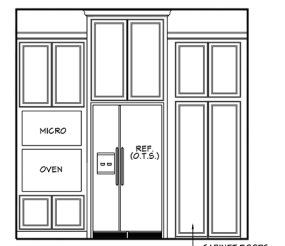
601 CROSS SECTION
SCALE.....3/8"=1'-0"



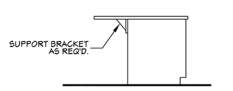
602 KITCHEN
SCALE.....3/8"=1'-0"



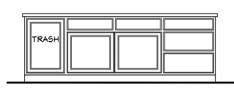
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SCALE.....3/8"=1'-0"



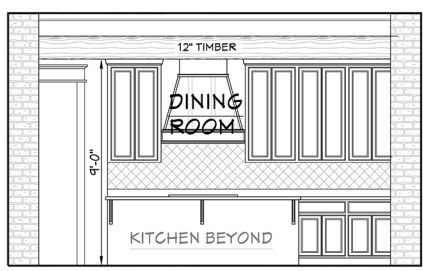
604 KITCHEN
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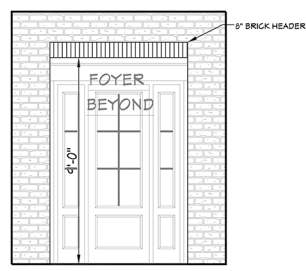
605 KITCHEN
SCALE.....3/8"=1'-0"



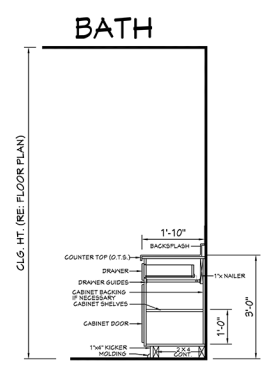
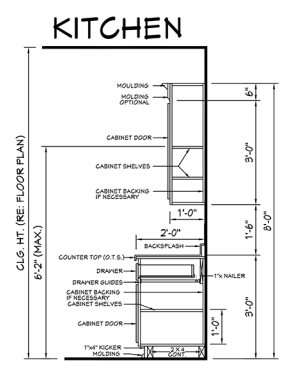
606 KITCHEN
SCALE.....3/8"=1'-0"



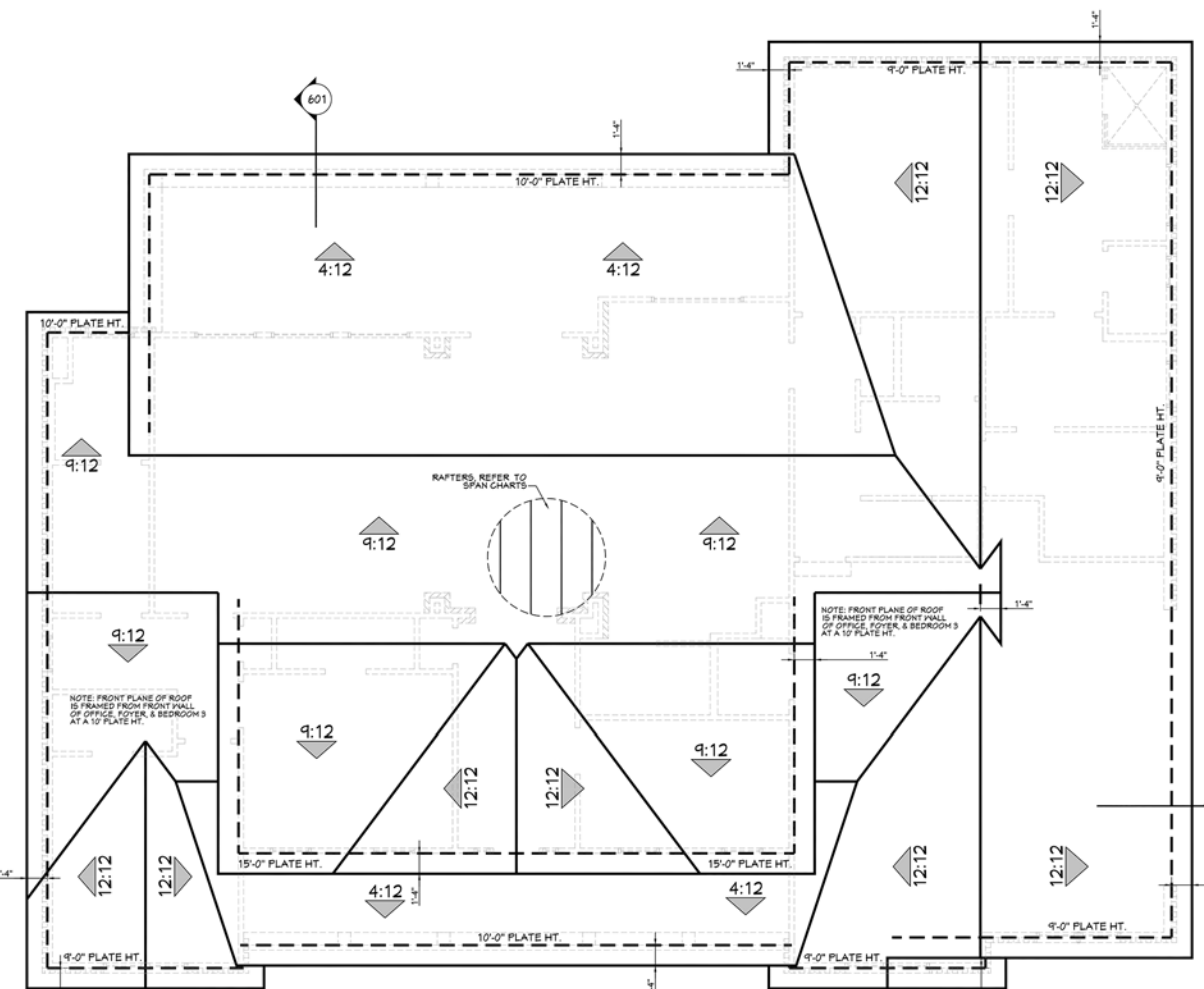
607 DINING OPENING
SCALE.....3/8"=1'-0"



608 FOYER OPENING
SCALE.....3/8"=1'-0"



609 TYP. CAB. SECTIONS
SCALE.....N.T.S.



- ### ROOF PLAN NOTES:
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
 2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" X 10", No.2 S.Y.F. OR AS REQ'D BY ENGINEER.
 3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
 4. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
 5. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
 6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.

CEILING JOIST SPANS

CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES (UNINHABITABLE ATTICS WITH LIMITED STORAGE, LIVE LOAD = 20psf, L₁₀=240) DEAD LOAD = 10psf)

*** IF HABITABLE ATTIC SPACE IS DESIRED REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLES ***

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (FT. - IN.)
2 x 4	12.0	4-8
	16.0	6-0
	19.2	7-4
2 x 6	24.0	6-7
	12.0	13-11
	16.0	12-0
2 x 8	14.2	11-0
	24.0	9-10
	12.0	13-7
2 x 10	16.0	15-3
	19.2	13-11
	24.0	12-6

NOTES:
MULTIPLY HORIZONTAL SPAN OF MEMBER BY FACTOR, CHOOSE APPROPRIATE FACTOR BY ROOF PITCH.
The above tables are based on the IRC 2018 TABLE R502.5.1(2)

RAFTER LENGTH CHART

ROOF PITCH	FACTOR
3/12	1.09
4/12	1.07
5/12	1.10
6/12	1.14
7/12	1.17
8/12	1.20
9/12	1.25
10/12	1.30
11/12	1.35
12/12	1.40
14/12	1.54
16/12	1.70

NOTES:
MULTIPLY HORIZONTAL SPAN OF MEMBER BY FACTOR, CHOOSE APPROPRIATE FACTOR BY ROOF PITCH.

HIP/VALLEY CONVERSION

IF COMMON RAFTER ROOF PITCH IS:	THEN HIP/VALLEY RAFTER ROOF PITCH BECOMES:
3/12	3"
4/12	4"
5/12	5"
6/12	6"
7/12	7"
8/12	8"
9/12	9"
10/12	10"
11/12	11"
12/12	12"

CONVERSION CHART FOR SIMPLE ROOFS ONLY. CHART DOES NOT APPLY FOR DUAL PITCH ROOFS.

RAFTER SPANS

RAFTER SPANS FOR SOUTHERN PINE SPECIES
LIVE LOAD=30psf, L₁₀=180 DEAD LOAD = 10psf

SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACINGS) (FT. - IN.)
2 x 6	12.0	12-11
	16.0	11-2
	19.2	10-2
	24.0	9-2
2 x 8	12.0	16-4
	16.0	14-2
	19.2	12-11
	24.0	11-7
2 x 10	12.0	19-5
	16.0	16-10
	19.2	15-4
	24.0	13-9
2 x 12	12.0	22-10
	16.0	19-10
	19.2	18-1
	24.0	16-2

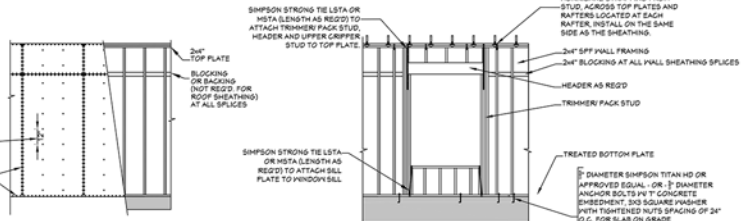
NOTES:
The above tables are based on the IRC 2018 TABLE R502.4.1(3)

701 ROOF PLAN
SCALE----- 1/4" = 1'-0"

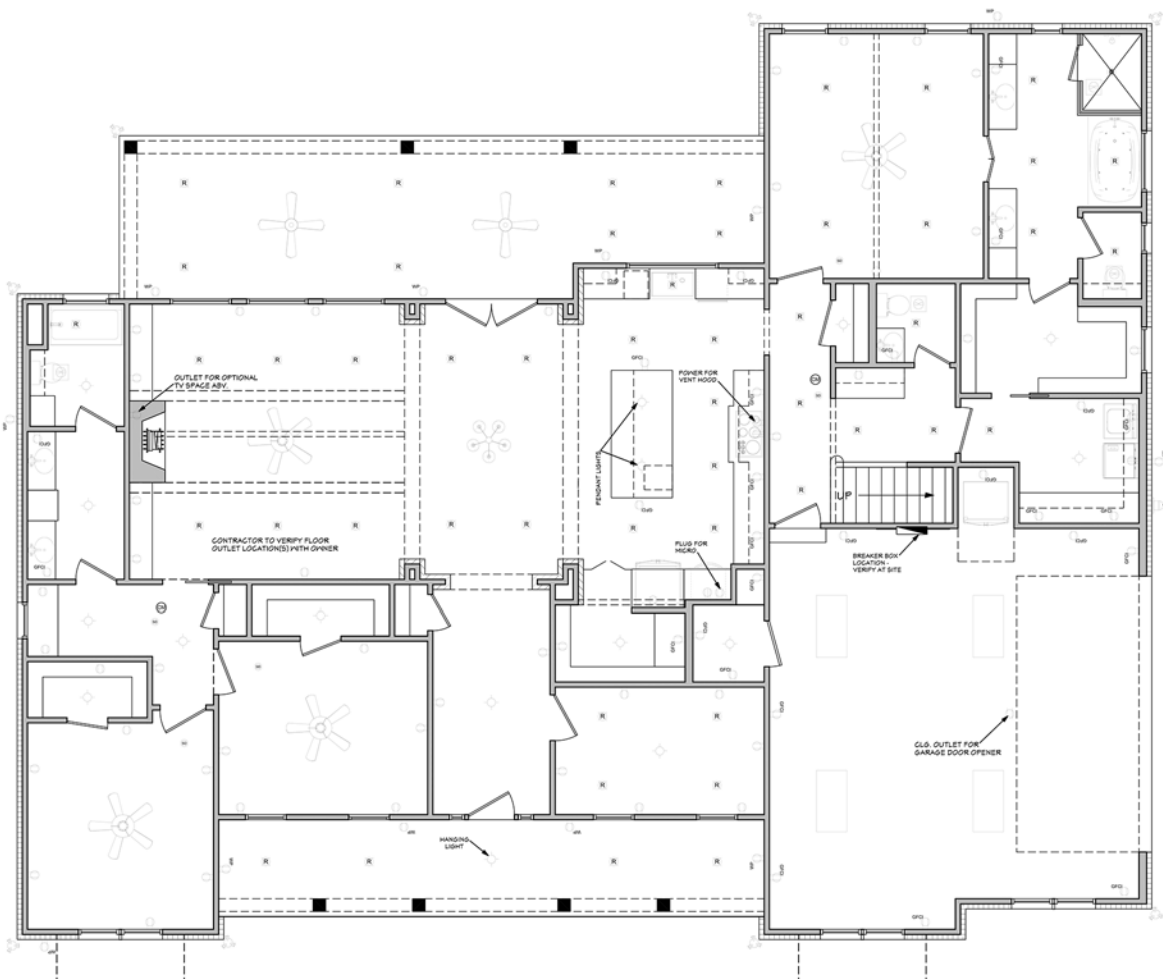
NAIL SIZE SPACING FOR WALL SHEATHING
8d NAILS
MIN. OF 1 1/16" O.S.B.
EDGE SPACING = 4" O.C.
INTERIOR SPACING = 12" O.C.

NAIL SIZE SPACING FOR ROOF SHEATHING
8d NAILS
MIN. OF 1 1/16" O.S.B.
EDGE SPACING = 4" O.C.
INTERIOR SPACING = 4" O.C.

- NOTES:
1. ALL EXTERIOR SHEATHING TO EXTEND FROM BOTTOM OF BOTTOM PLATE TO THE TOP OF THE TOP PLATES.
 2. PROVIDE 2x4 OR GREATER COLLAR TIES ON EACH RAFTER IN THE UPPER THIRD OF ATTIC AND ATTACHED TO RAFTERS WITH 1/2" NAILS ON EACH SIDE.
 3. SHINGLES OR OTHER ROOF MATERIALS TO BE FASTENED AS PER MANUFACTURERS INSTRUCTIONS FOR HIGH WIND APPLICATIONS.
 4. EXTERIOR WALL FINISHES TO BE INSTALLED AS PER MANUFACTURERS INSTRUCTIONS BASED ON HIGH WIND APPLICATIONS.



702 WALL/ROOF FASTENING DETAILS
SCALE----- 1/4" = 1'-0"



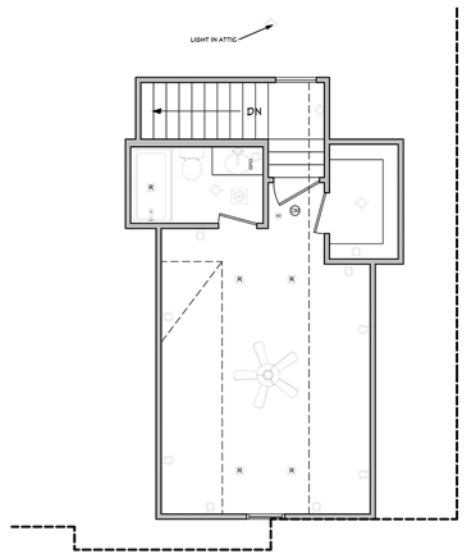
MAIN FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

NOTE: SWITCHES AND ARCS NOT SHOWN. OWNER TO LOCATE THESE ITEMS DURING ELECTRICAL WALK-THROUGH WITH ELECTRICAL CONTRACTOR.

ELECTRICAL SYMBOLS LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	110 VOLT OUTLET	[Symbol]	TV SPEAKER
[Symbol]	GROUND FAULT PROTECTED OUTLET	[Symbol]	RADIO SPEAKER
[Symbol]	WEATHERPROOF OUTLET	[Symbol]	CEILING FAN ONLY, NO LIGHT KIT
[Symbol]	220 VOLT RECEPTACLE	[Symbol]	
[Symbol]	FLOOR OUTLET (OWNER TO LOCATE)	[Symbol]	CEILING FAN WITH LIGHT KIT
[Symbol]	CEILING HUNG FIXTURE	[Symbol]	
[Symbol]	OVERHANG MOUNTED FLOODLIGHTS	[Symbol]	TRACK LIGHTING (OWNER TO LOCATE)
[Symbol]	WALL MOUNTED FLOODLIGHTS	[Symbol]	WALL SCONCE (OWNER TO LOCATE)
[Symbol]	RECESSED CEILING FIXTURE	[Symbol]	CHANDELIER 1 (O.T.S.)
[Symbol]	FLUORESCENT LIGHT	[Symbol]	CHANDELIER 2 (O.T.S.)
[Symbol]	CARBON MONOXIDE DETECTOR	[Symbol]	UNDER COUNTER LIGHTING
[Symbol]	SMOKE DETECTOR	[Symbol]	EMERGENCY LIGHTING/EXIT SIGN
[Symbol]	SWITCH		
[Symbol]	THREE WAY SWITCH		
[Symbol]	WALL MOUNTED LIGHT		
[Symbol]	DIMMER SWITCH (OWNER TO LOCATE)		
[Symbol]	DOOR ACTIVATED SWITCH		
[Symbol]	WEATHERPROOF OUTLET		
[Symbol]	CATS NETWORKING JACK (OWNER TO LOCATE)		
[Symbol]	TELEPHONE OUTLET (OWNER TO LOCATE)		
[Symbol]	TELEVISION OUTLET (OWNER TO LOCATE)		
[Symbol]	DOORBELL BUTTON (CONTRACTOR TO LOCATE)		
[Symbol]	THERMOSTAT (CONTRACTOR TO LOCATE)		
[Symbol]	CEILING EXHAUST FAN, VENT TO EXTERIOR		

ELECTRICAL NOTES:
 1. ALL WORK SHALL COMPLY WITH ALL CODES APPLICABLE AT SITE.
 2. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN A DWELLING THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SMOKE ALARMS SHALL BE HARD WIRED WITH A BATTERY BACK UP.
 3. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS WITH ATTACHED GARAGES.
 4. A 125 VOLT, SINGLE PHASE, 15-20 AMPERE RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 20 FEET OF THE EQUIPMENT. THE RECEPTACLE OUTLET SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE HVAC EQUIPMENT DISCONNECTING MEANS.



BONUS FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"