

LOT 3 MODEL HOME

STANDARD ABBREVIATIONS

@	AT	JT	JOINT
#	POUNDS	JST	JOIST
		JSTS	JOISTS
APPROX	APPROXIMATELY	LT	LIGHT
BASE	BASEMENT	LIN	LINEN
B/T	BETWEEN	MANUF	MANUFACTURER
B/C	BLOCK	MAS	MASONRY
BLOCK	BLOCKING	MAX	MAXIMUM
BD	BOARD	MTL	METAL
BRD	BOARD	MIN	MINIMUM
BTM	BOTTOM	N.I.C.	NOT IN CONTRACT
BLDG	BUILDING	O.C.	ON CENTER
CAB	CABINET	O/C	ON CENTER
CLD	CEILING	O/C	ON CENTER
CLB	CLEAN	OPT	OPTIONAL
CLOS	CLOSET	O.S.B.	ORIENTED STRAND BOARD
COL	COLUMN	OTS	OWNER TO SELECT
COLS	COLUMNS	O.T.S	OWNER TO SELECT
CONG	CONCRETE	PG	PAGE
CMU	CONCRETE MASONRY UNIT	PAN	PANTRY
C.U.	CONDENSOR UNIT	PL	PLATE
CONN	CONNECTION	R	RESISTANCE
CONT	CONTIGUOUS	PLYD	PLYWOOD
COVERS	COVERING	PLYVD	PLYWOOD
CS	CRANE SPACE	POLY	POLYETHYLENE
DECO	DECORATIVE	PSI	POUNDS PER SQUARE INCH
DET	DETAIL	PRE-FAB	PREFABRICATED
DI	DIAMETER	REF	REFERENCE
DISH	DISHWASHER	REF	REFRIGERATOR
DBL	DOUBLE	REINF	REINFORCED
DF	DOUGLAS FIR	R	RESISTANCE
D	DRYER	R.A.	RETURN AIR
EA	EACH	R.A.S	RETURN AIR GRILLE
ELEV	ELEVATION	REQD	REQUIRED
ENG	ENGINEER	SCR	SCREEN
FT	FEET	SHLV	SHELVES
F.F.L	FINISHED FLOOR LINE	SHR	SHOWER
FIN	FINISH	SHR	SHOWER
FLR	FLOOR	SIMP	SIMPSON STRONG TIE
FLR	FLOOR	SP	SOUTHERN PINE
FTG	FOOTING	SPEC	SPECIFICATIONS
FOUND	FOUNDATION	SQ	SQUARE
FND	FOUNDATION	S.F.	SQUARE FOOTAGE
FK	FREEZER	STL	STEEL
GA	GALVNEE	THK	THICK
GALV	GALVANIZED	THK	THICKNESS
GYP	GYP-SUM	TBD	TO BE DETERMINED
		TK	TRANSOM
		TYP	TYPICAL
		U.T.C.	UNDER THE COUNTER
		UTIL	UTILITY
		VAN	VANITY
		VERT	VERTICAL
		WH	WATER HEATER
		PI	PASHER
		HT	HEIGHT
		WIN	WINDOW
		MM	MIRE MESH
		PI	PIPE
		PD	POOD
		PMCM	POOD FRAME CONSTRUCTION MANUAL

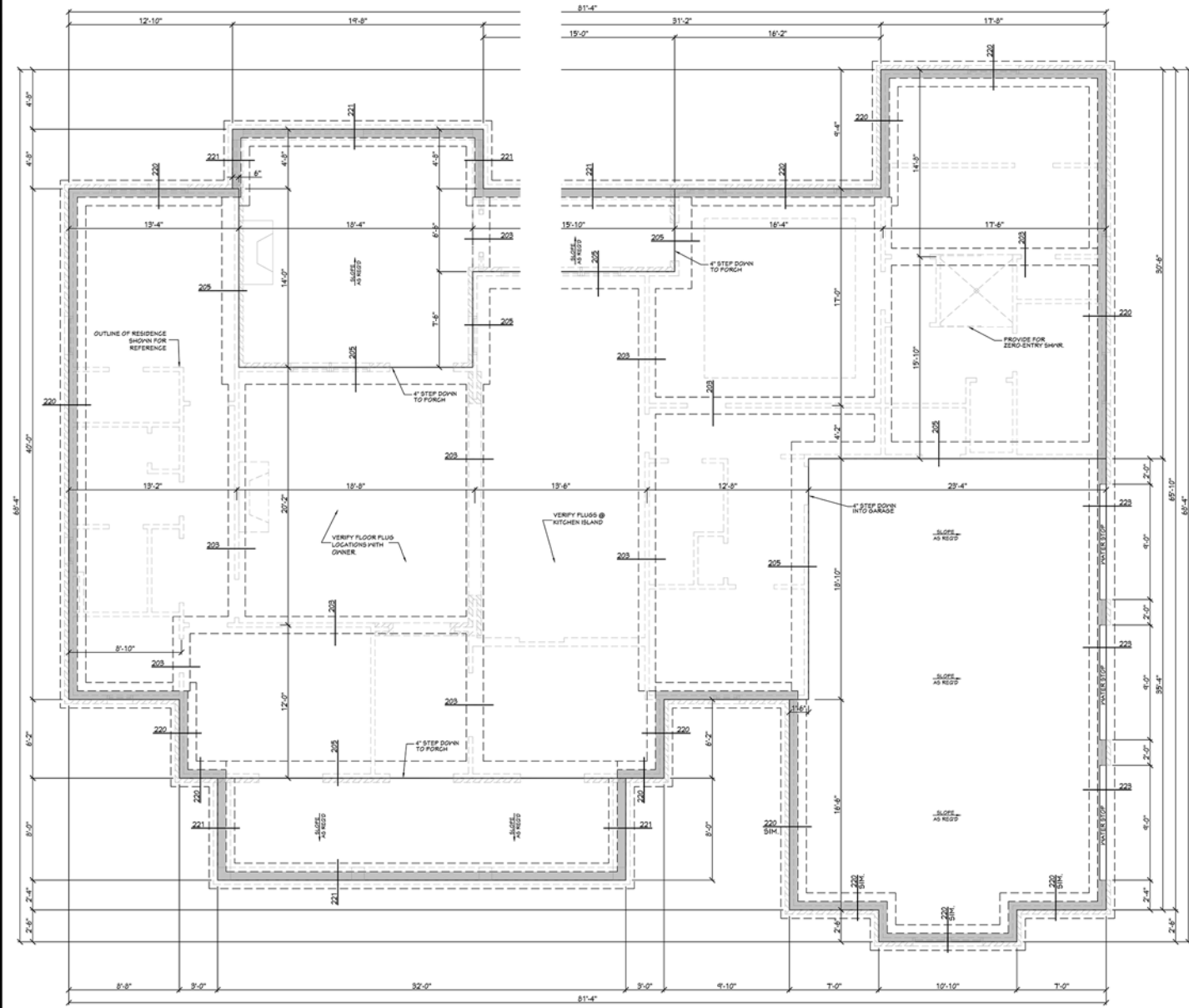


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CODE DISCLAIMER:

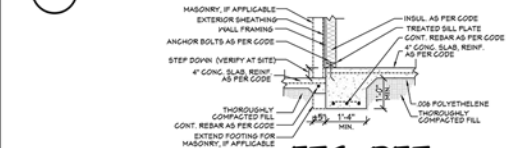
1. THESE PLANS WERE DESIGNED TO MEET IRC 2010 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE SOUTH MISSISSIPPI AREA. IT IS HIGHLY RECOMMENDED THAT THESE PLANS BE REVIEWED BY A LOCAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
2. BEAMS AND FLOOR JOISTS ARE NOT SIZED DUE TO THE MANY GEOGRAPHIC LOCATIONS THESE PLANS ARE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER.
3. ALL CEILING & FLOOR JOISTS (IF CONVENTIONAL FRAMING) SHOULD BE SIZED USING THE LATEST VERSION OF THE IRC OR APPLICABLE CODES AT SITE TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOISTS SIZES LABELED (IF PRESENT) WERE SIZED USING THE 2010 IRC AT THE TIME OF THEIR CREATION. THEY MUST BE VERIFIED AND MODIFIED AS REQUIRED TO MEET THE LATEST EDITION OF THE (IRC) INTERNATIONAL RESIDENTIAL CODE.
4. ALL FOUNDATIONS AND FOOTING DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER.
5. CONTRACTOR SHALL PROVIDE ALL HIGH POND STRAPPING AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL CODE REQUIREMENTS AND THE LATEST VERSION OF THE IRC.



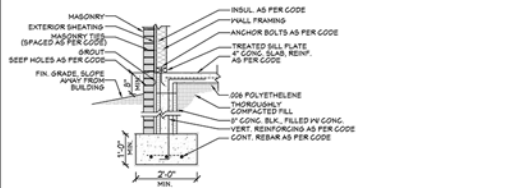
201 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



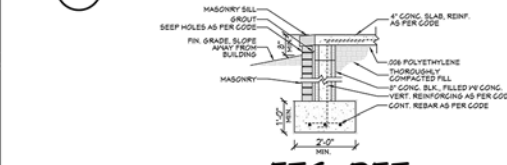
203 FTG. DET.



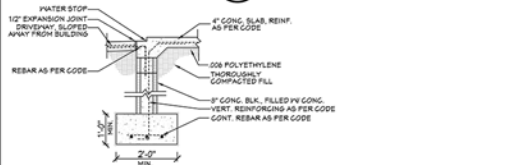
205 FTG. DET.



220 FTG. DET.

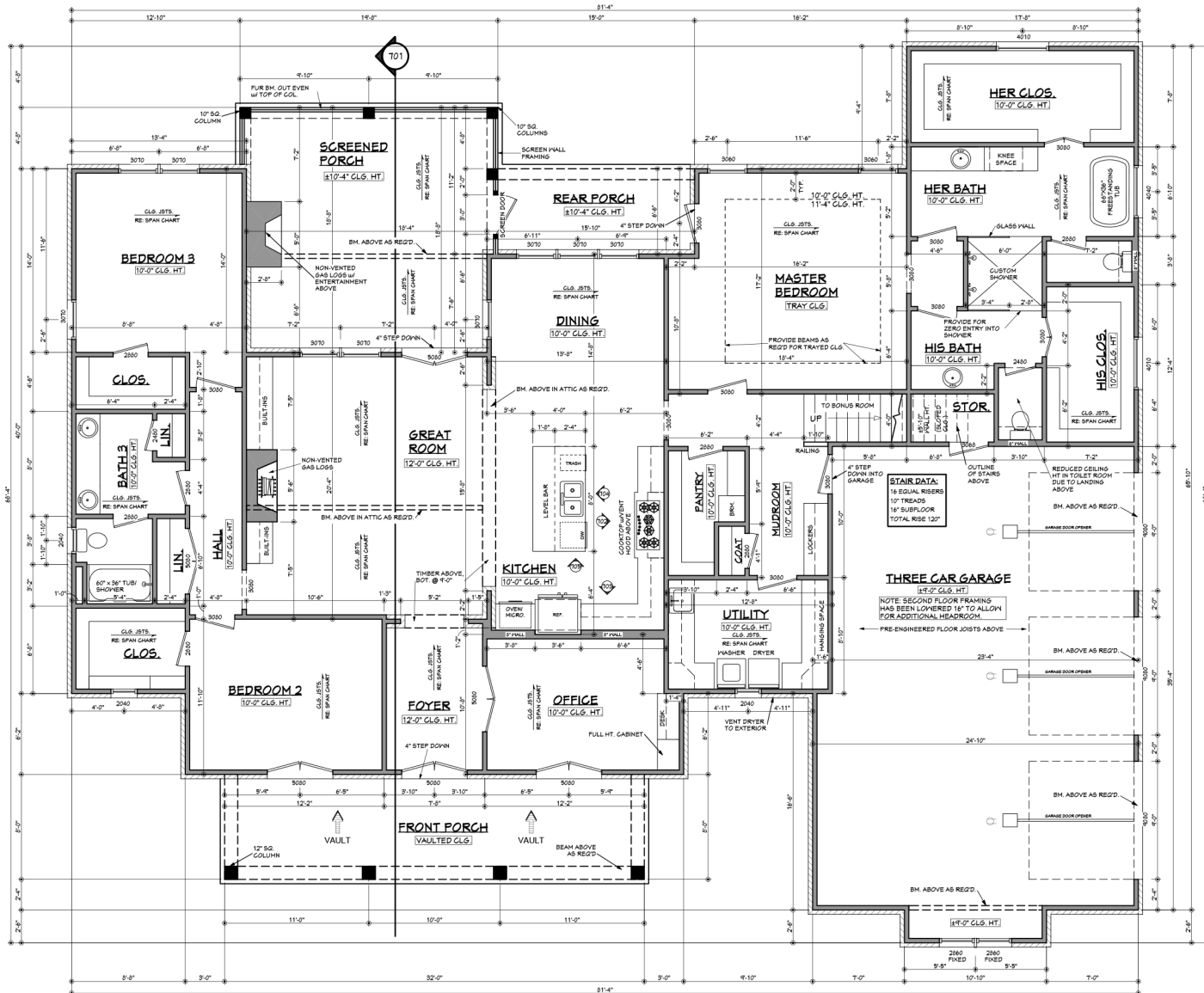


221 FTG. DET.



223 FTG. DET.

- SLAB FOUNDATION NOTES:**
1. ALL FOOTING SIZES AND LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
 2. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
 3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH FLOOR PLAN PRIOR TO CONSTRUCTION AND MAKE ANY NECESSARY ADJUSTMENTS.
 4. CONTRACTOR TO PROVIDE WATERPROOFING AS REQ'D TO MEET ALL APPLICABLE CODES AND TYPICAL BUILDING PRACTICES.
 5. CONCRETE SLABS TO BE 4" (3000 psi MIN.), REINFORCED AS PER CODE OR AS DETERMINED BY LICENSED ENGINEER.



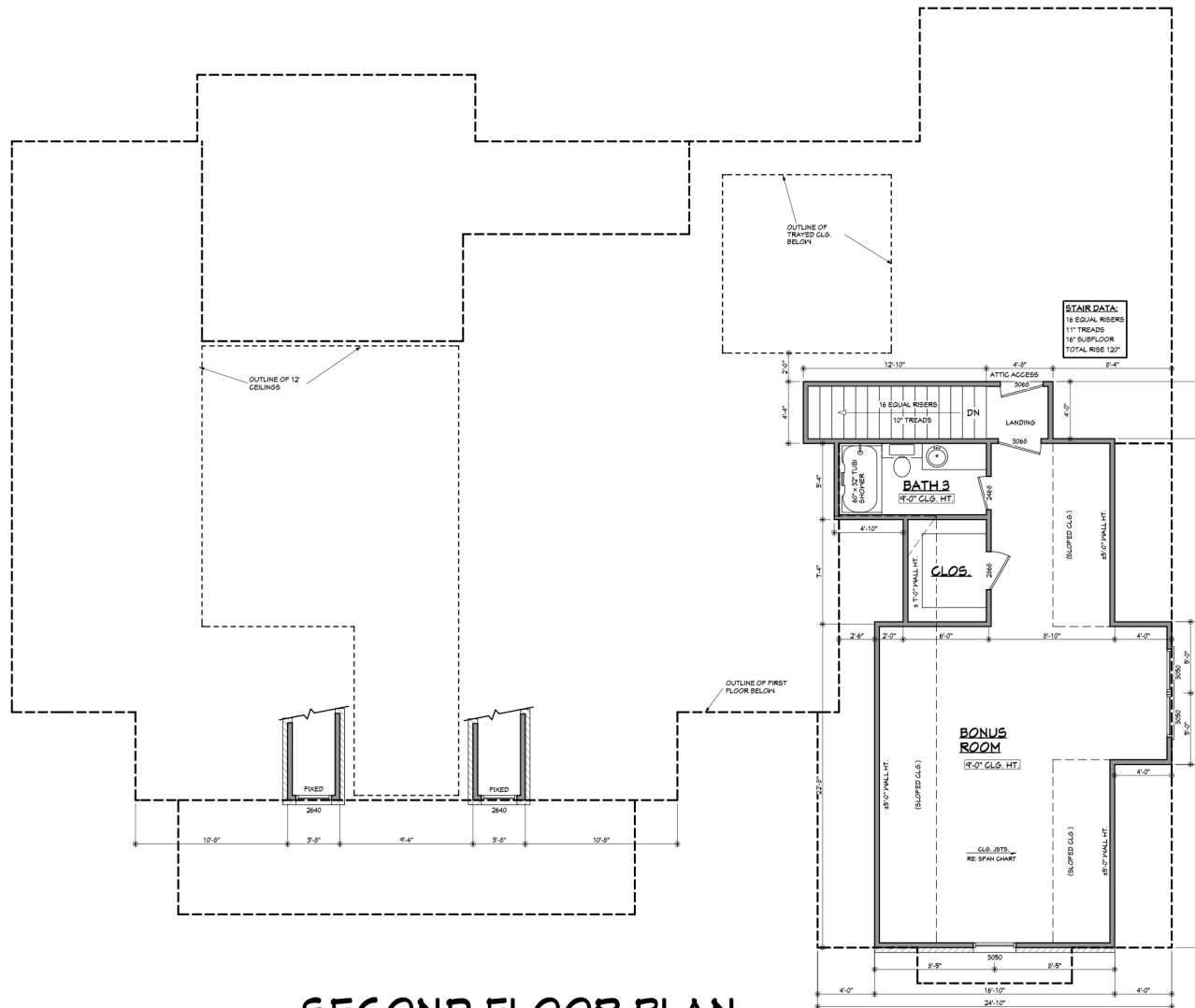
AREAS:	2854	S.F. HEATED - FIRST FLOOR
	642	S.F. UNHEATED - BONUS ROOM
	876	S.F. UNHEATED - GARAGE/OPEN STORAGE
	256	S.F. UNHEATED - FRONT PORCH
	354	S.F. UNHEATED - SCREENED PORCH
	90	S.F. UNHEATED - REAR PORCH
	2226	S.F. UNHEATED - TOTAL
	5080	S.F. TOTAL - NOT INCLUDING MASONRY

BB-2854 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE: HVAC UNITS AND WATER HEATERS TO BE LOCATED BY CONTRACTOR.

- NOTES:**
1. ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
 2. ALL FINISHED INTERIOR & EXTERIOR TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
 3. VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
 4. CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL PRIOR TO CONSTRUCTION.
 5. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
 6. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
 7. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD. IRC 2010, R312.1.1 & R312.1.2
 8. M305.1.2 APPLIANCES IN ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE EXCEPTING:
 9. THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING.
 10. WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 50 FEET LONG.
 11. APPLIANCE ACCESS FOR INSPECTION SERVICE, REPAIR AND REPLACEMENT SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. A LEVEL PASSING SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. M305.1.1
 12. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2010 R310.2.1. EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. MAXIMUM SILL HEIGHT TO BE 44 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.
 13. ALL RETURN AIR GRILLS ARE TO BE LOCATED TO COMPLY WITH SECTION M502 OF THE IRC 2010.
 14. ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED RESIDENCE OR BUILDING.
 15. FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED (IF REQUIRED BY LOCAL CODES) AS PER THE IRC 2010 AND BY A LICENSED PROFESSIONAL IN THE AREA OF CONSTRUCTION.
 16. ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2010, M1505.2

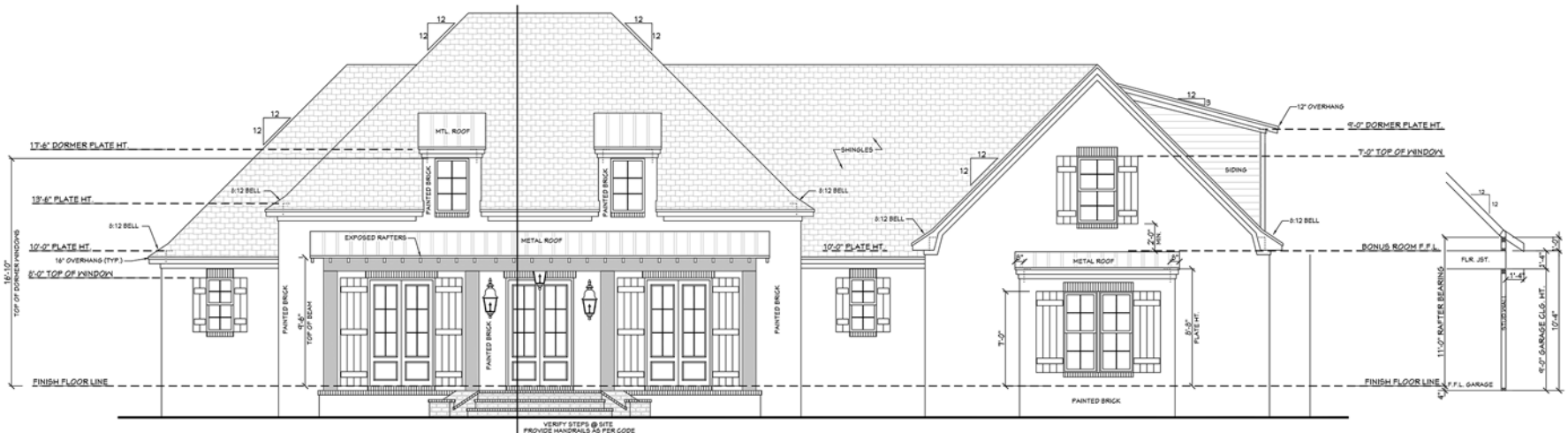


SECOND FLOOR PLAN

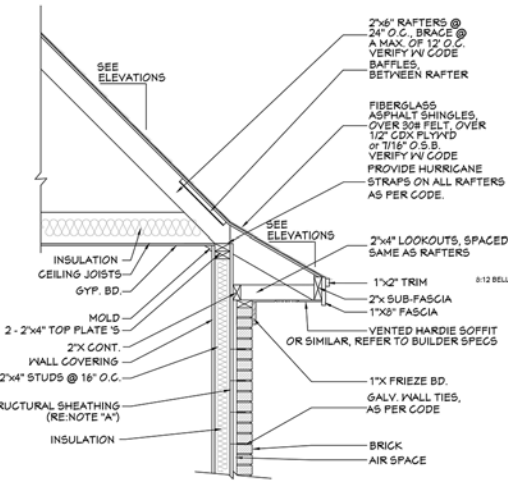
SCALE: 1/4" ===== 1'-0"

NOTES:

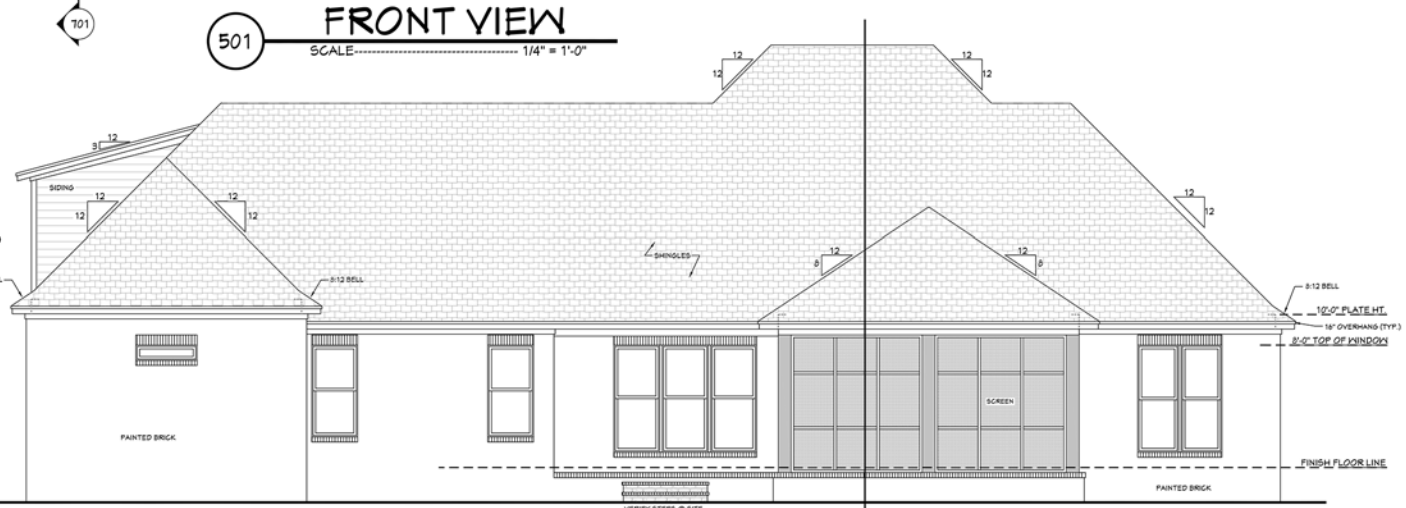
1. ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
2. ALL FINISHES INTERIOR & EXTERIOR TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
3. VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
4. CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
6. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
7. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD. IRC 2018, R312.1.1 & R312.1.2
8. M1305.1.2 APPLIANCES IN ATTICS, ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.
9. THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING.
10. WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 50 FEET LONG.
11. APPLIANCE ACCESS FOR INSPECTION SERVICE, REPAIR AND REPLACEMENT APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. A LEVEL PASSING SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. M1305.1.1
12. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2018 R310.2.1. EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. MAXIMUM SILL HEIGHT TO BE 44 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.
13. ALL RETURN AIR GRILLS ARE TO BE LOCATED TO COMPLY WITH SECTION M1602 OF THE IRC 2018.
14. ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED RESIDENCE OR BUILDING.
15. FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED (IF REQUIRED BY LOCAL CODES) AS PER THE IRC 2018 AND BY A LICENSED PROFESSIONAL IN THE AREA OF CONSTRUCTION.
16. ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2018, M1305.2



501 FRONT VIEW
SCALE.....1/4" = 1'-0"



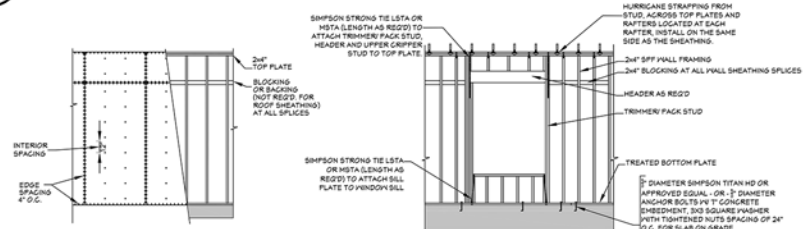
NOTE "A": PROVIDE A MINIMUM OF 1/16" STRUCTURAL WOOD PANEL ATTACHED W/ 8d COMMON OR 10d BOX NAILS AT 4" SPACING ON EDGE AND 12" IN FIELD.
NOTE "B": CORNICE DETAIL FOR REFERENCE ONLY. REFER TO BUILDER SPECS FOR ACTUAL MATERIALS.



502 REAR VIEW
SCALE.....1/4" = 1'-0"

503 DUAL PITCH CORNICE DETAIL
SCALE.....3/4" = 1'-0"

- EXTERIOR ELEVATION NOTES:**
1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
 2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
 3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
 4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
 5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
 6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



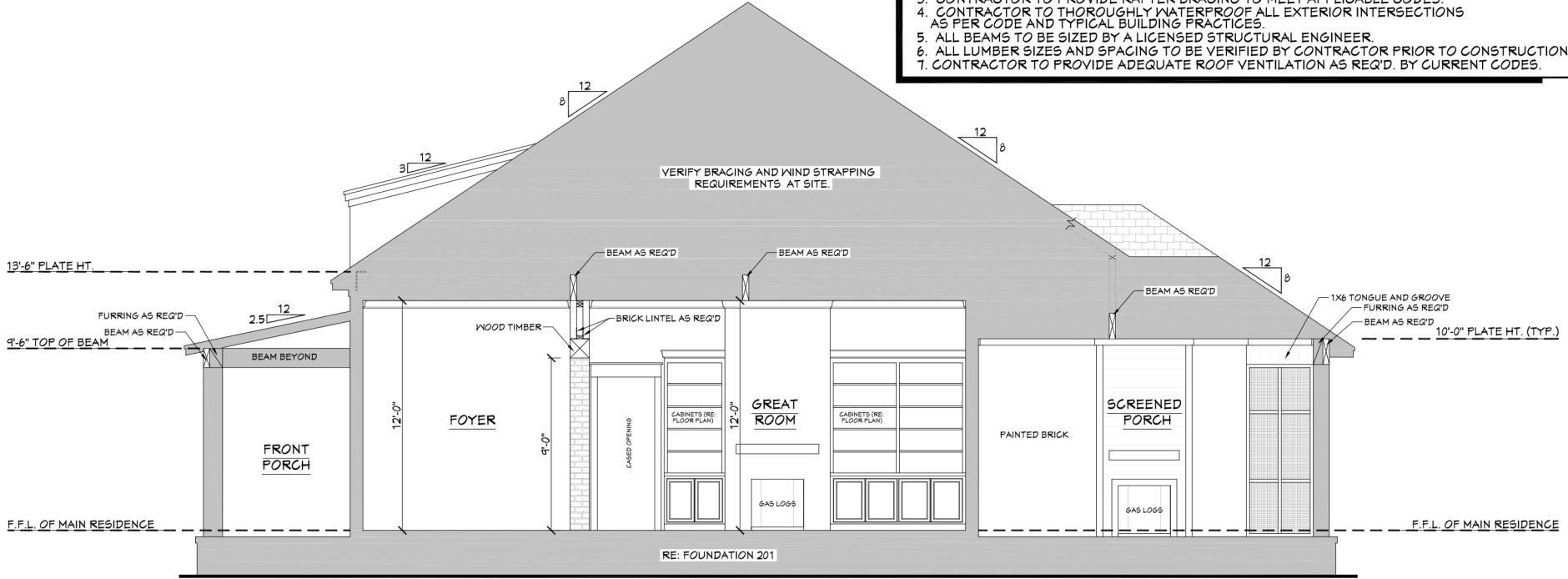
NAIL SIZE SPACING FOR WALL SHEATHING	
8d NAILS	MIN. OF 1/16" O.S.B.
EDGE SPACING = 4" O.C.	INTERIOR SPACING = 12" O.C.

NAIL SIZE SPACING FOR ROOF SHEATHING	
8d NAILS	MIN. OF 1/16" O.S.B.
EDGE SPACING = 4" O.C.	INTERIOR SPACING = 4" O.C.

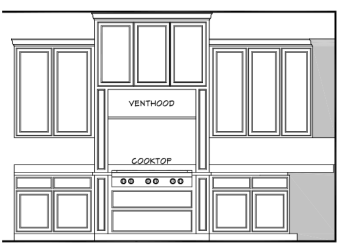
- NOTES:**
1. ALL EXTERIOR SHEATHING TO EXTEND FROM BOTTOM OF BOTTOM PLATE TO THE TOP OF THE TOP PLATES.
 2. PROVIDE 2x4 OR GREATER COLLAR TIES ON EACH RAFTER IN THE UPPER THIRD OF ATTIC AND ATTACHED TO RAFTERS WITH 8-10d NAILS ON EACH SIDE.
 3. SHINGLES OR OTHER ROOF MATERIALS TO BE FASTENED AS PER MANUFACTURERS INSTRUCTIONS FOR HIGH WIND APPLICATIONS.
 4. EXTERIOR WALL FINISHES TO BE INSTALLED AS PER MANUFACTURERS INSTRUCTIONS BASED ON HIGH WIND APPLICATIONS.

504 WALL/ROOF FASTENING DETAILS
SCALE.....1/4" = 1'-0"

- CROSS SECTION NOTES:**
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
 2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" x 10", OR AS REQ'D BY ENGINEER.
 3. CONTRACTOR TO PROVIDE RAFTER BRACING TO MEET APPLICABLE CODES.
 4. CONTRACTOR TO THOROUGHLY WATERPROOF ALL EXTERIOR INTERSECTIONS AS PER CODE AND TYPICAL BUILDING PRACTICES.
 5. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
 6. ALL LUMBER SIZES AND SPACING TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
 7. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D. BY CURRENT CODES.



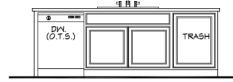
701 CROSS SECTION
 SCALE-----3/8"=1'-0"



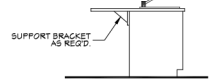
702 KITCHEN
 SCALE-----3/8"=1'-0"



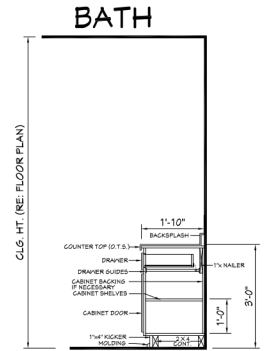
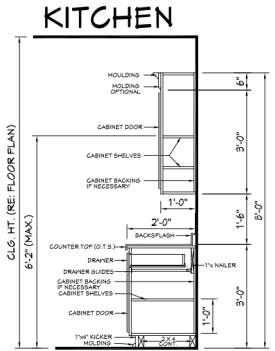
703 KITCHEN
 SCALE-----3/8"=1'-0"



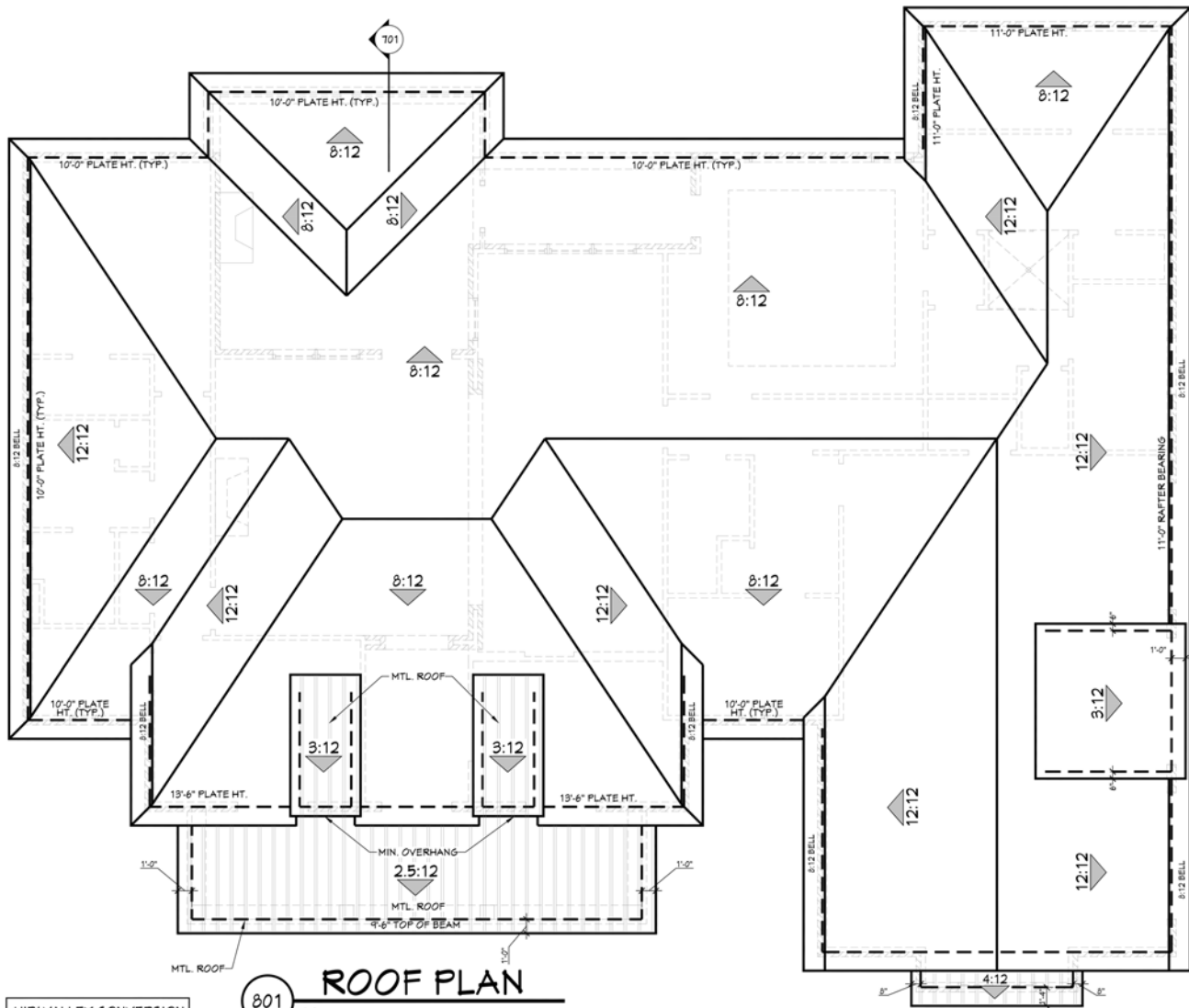
704 KITCHEN
 SCALE-----3/8"=1'-0"



705 KITCHEN
 SCALE-----3/8"=1'-0"



706 TYPICAL CABINET SECTIONS
 SCALE-----N.T.S.



801 ROOF PLAN
SCALE: 1/4" = 1'-0"

HIP/VALLEY CONVERSION

IF COMMON RAFTER ROOF PITCH IS:	THEN HIP VALLEY RAFTER ROOF PITCH BECOMES:
1:12	9"
2:12	10"
3:12	14"
4:12	18"
5:12	22"
6:12	27"
7:12	30"
8:12	34"
9:12	37"
10:12	40"
11:12	42"
12:12	45"

CONVERSION CHART FOR SINGLE ROOFS ONLY. CHART DOES NOT APPLY FOR DUAL PITCH ROOFS.

RAFTER LENGTH CHART

ROOF PITCH	FACTOR
3:12	1.09
4:12	1.07
5:12	1.10
6:12	1.14
7:12	1.17
8:12	1.20
9:12	1.25
10:12	1.30
11:12	1.35
12:12	1.40
14:12	1.54
16:12	1.70

MULTIPLY HORIZONTAL SPAN OF MEMBER BY FACTOR. CHOOSE APPROPRIATE FACTOR BY ROOF PITCH.

- ROOF PLAN NOTES:**
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
 - ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" X 10", No. 2 S.Y.P. OR AS REQ'D BY ENGINEER.
 - ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
 - CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
 - CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.

RAFTER SPANS

RAFTER SPANS FOR SOUTHERN PINE SPECIES
LIVE LOAD=30psf, L₁₆=180' DEAD LOAD = 10psf

SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACINGS) (FT. - IN.)
2 x 6	12.0	12-11
	16.0	11-2
	19.2	10-2
	24.0	9-2
2 x 8	12.0	16-4
	16.0	14-2
	19.2	12-11
	24.0	11-7
2 x 10	12.0	19-5
	16.0	16-10
	19.2	15-4
	24.0	13-9
2 x 12	12.0	22-10
	16.0	19-10
	19.2	18-1
	24.0	16-2

NOTES:
The above tables are based on the IRC 2018 TABLE R802.4.1(3)

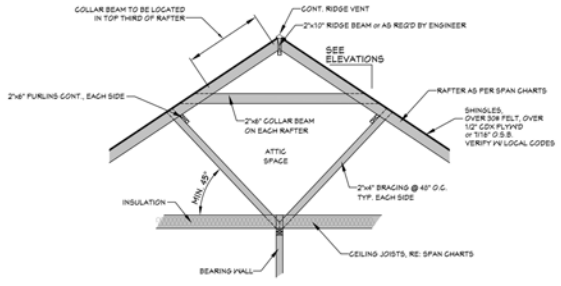
CEILING JOIST SPANS

CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES
(UNINHABITABLE ATTICS WITH LIMITED STORAGE)
LIVE LOAD = 20psf, L₁₆=240' DEAD LOAD = 10psf

IF HABITABLE ATTIC SPACE IS DESIRED, REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLES.

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (FT. - IN.)
2 x 4	12.0	4-3
	16.0	5-0
	19.2	7-4
	24.0	8-7
2 x 6	12.0	10-11
	16.0	12-0
	19.2	11-0
	24.0	9-10
2 x 8	12.0	11-7
	16.0	15-3
	19.2	13-11
	24.0	12-6
2 x 10	12.0	20-11
	16.0	18-1
	19.2	16-6
	24.0	14-9

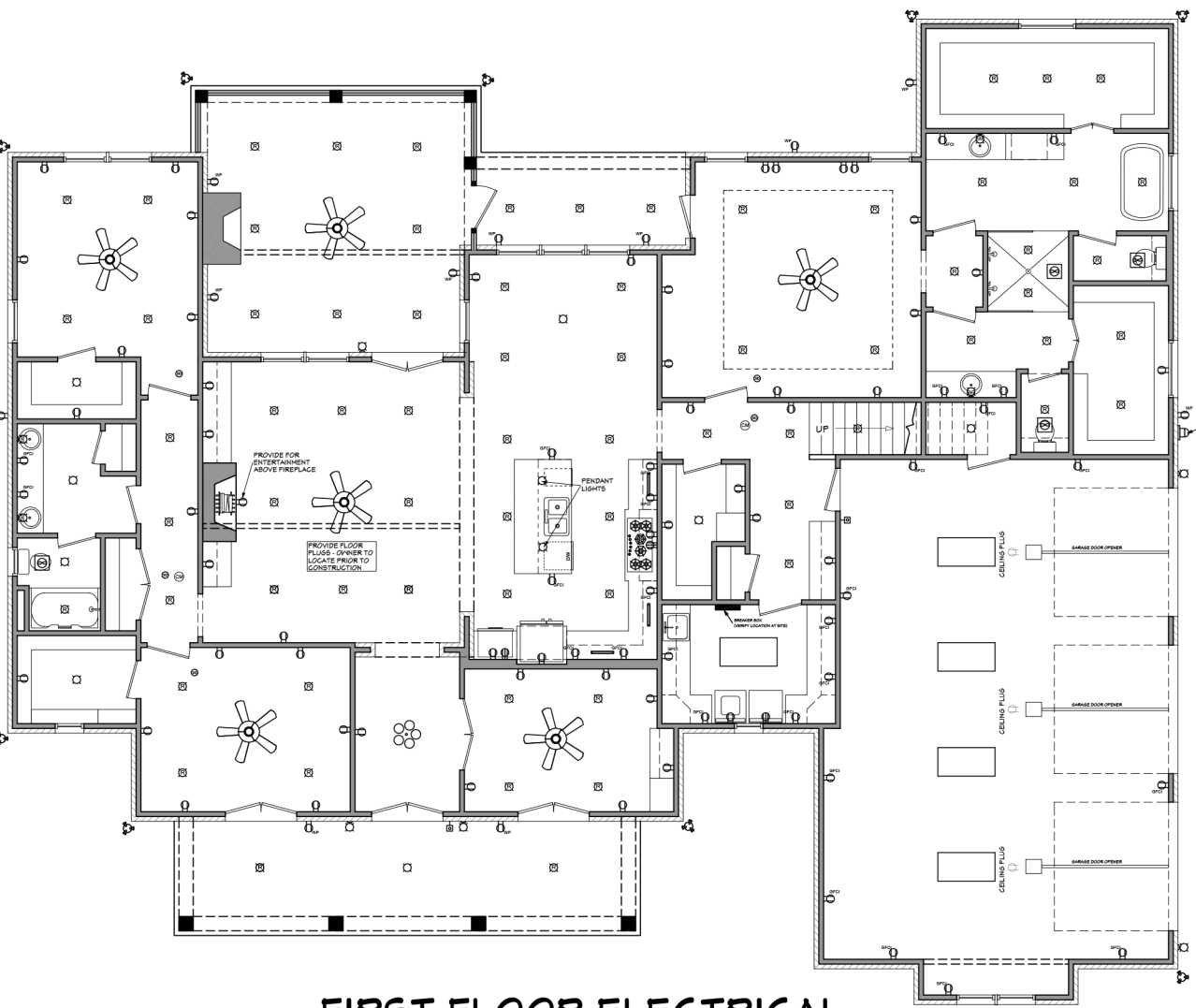
NOTES:
The above tables are based on the IRC 2018 TABLE R802.5.1(2)



802 TYP. ROOF BRACING
SCALE: N.T.S.

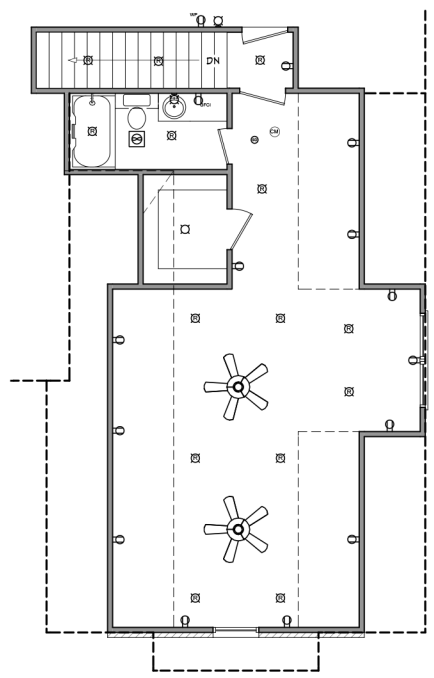
ELECTRICAL SYMBOLS LEGEND		ELECTRICAL SYMBOLS LEGEND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	110 VOLT OUTLET		TV SPEAKER
	GROUND FAULT PROTECTED OUTLET		RADIO SPEAKER
	WEATHERPROOF OUTLET		CEILING FAN ONLY, NO LIGHT KIT
	220 VOLT RECEPTACLE		CEILING FAN WITH LIGHT KIT
	FLOOR OUTLET (OWNER TO LOCATE)		TRACK LIGHTING (OWNER TO LOCATE)
	CEILING HUNG FIXTURE		WALL SCONCE (OWNER TO LOCATE)
	OVERHANG MOUNTED FLOODLIGHTS		CHANDELIER 1 (O.T.S.)
	WALL MOUNTED FLOODLIGHTS		CHANDELIER 2 (O.T.S.)
	RECESSED CEILING FIXTURE		UNDER COUNTER LIGHTING
	FLUORESCENT LIGHT		EMERGENCY LIGHTING/ EXIT SIGN
	CARBON MONOXIDE DETECTOR		
	SMOKE DETECTOR		
	SWITCH		
	THREE WAY SWITCH		
	WALL MOUNTED LIGHT		
	DIMMER SWITCH (OWNER TO LOCATE)		
	DOOR ACTIVATED SWITCH		
	WEATHERPROOF OUTLET		
	CATS NETWORKING JACK (OWNER TO LOCATE)		
	TELEPHONE OUTLET (OWNER TO LOCATE)		
	TELEVISION OUTLET (OWNER TO LOCATE)		
	DOORBELL BUTTON (CONTRACTOR TO LOCATE)		
	THERMOSTAT (CONTRACTOR TO LOCATE)		
	CEILING EXHAUST FAN, VENT TO EXTERIOR		

ELECTRICAL NOTES:
1. ALL WORK SHALL COMPLY WITH ALL CODES APPLICABLE AT SITE.
2. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN A DWELLING THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SMOKE ALARMS SHALL BE HARD WIRED WITH A BATTERY BACK UP.
3. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS WITH ATTACHED GARAGES.
4. A 125 VOLT, SINGLE PHASE, 15-20 AMPERE RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THE RECEPTACLE OUTLET SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE HVAC EQUIPMENT DISCONNECTING MEANS.



FIRST FLOOR ELECTRICAL PLAN

NOTE: SWITCHES AND ELECTRICAL CONNECTIONS ARE NOT SHOWN. OWNER TO LOCATE THESE ITEMS DURING ELECTRICAL WALK-THROUGH WITH ELECTRICAL CONTRACTOR.



SECOND FLOOR ELECTRICAL PLAN